

Explanation Note
Standard Unit By-Law

The *Condominium Act, 1998*, states that all existing condominium corporations must pass by-laws which define the "standard units" in the condominium. According to the Act, the by-law must be passed before the corporation's first insurance renewal, after May 5, 2001.

We explain as follows.

We are sure that all owners are aware that condominium corporations arrange insurance covering the common elements.

In Ontario, condominium corporations are also obligated to arrange insurance covering the units. The corporation arranges this unit insurance on behalf of every owner.

This unit insurance arranged by the corporation does not provide 100% coverage for the unit. For example,

1. This insurance is normally subject to a relatively high deductible;
2. This insurance may provide coverage for only certain perils (which are listed in the *Condominium Act*);
3. This insurance does not cover betterments or improvements to the unit.

In this note, we deal only with item 3 - betterments and improvements.

Again, the insurance arranged by the corporation does not cover betterments and improvements to the unit. Normally owners obtain their own insurance covering these betterments and improvements.

The question is: **How does one determine what is a betterment or an improvement?**

The new *Condominium Act* says that this must be determined by reference to a "Standard Unit By-Law". Here is how it is to work:

1. The by-law must define the standard units by describing the features of each model which are to be considered "standard". To achieve this, the by-law will have to contain drawings (or refer to drawings registered at the registry office) and specifications which list the features of each type of standard unit in the condominium.

What Should Owners Do With The Standard Unit Bylaw?

As you know, it is our opinion that the *Condominium Act, 1998* requires that all existing condominium corporations pass by-laws to define the "standard units" in the condominium. According to the Act, the by-law must be passed before the corporation's first insurance renewal after May 5, 2001.

The standard unit by-law gives a description of the unit as unimproved. It is the responsibility of the condominium corporation to obtain insurance covering the unimproved or "standard" unit (subject to a reasonable deductible). Insurance for any improvement to the unit is the responsibility of the owner.

An improvement is any feature, which is not part of the standard unit description.

Therefore, when the standard unit by-law is passed, each owner should take a copy of the by-law to the owner's insurance broker. The owner should also give the broker a list of all features of the unit, which are not included in the standard unit description. Those are the unit improvements. The broker should then be asked to make sure that the owner's insurance policy provides adequate coverage for those improvements.

At present, most unit insurance policies provide an arbitrary amount of coverage for unit improvements - usually set at a percentage of the coverage for the owner's personal property or "contents". With a precise list of the unit improvements in hand, many owners and brokers may find that they can actually reduce the coverage for improvements. [They may find that they have actually been over-insured up until this time.] On the other hand, in some cases the insurance coverage may have to be increased.

At the end of the day, the standard unit description should enable owners and their brokers to more carefully assess the insurance requirements of the owner.

2. Anything that is not part of a "standard unit" would then be an improvement, for which the corporation would not be obligated to arrange insurance. Any insurance covering those features would have to be arranged by the owner.

The description of the standard units will require approval of the owners - by vote on the proposed by-law.

Version 2 - October 2002

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Schedule "A"

CARLETON CONDOMINIUM CORPORATION NO. 6

BY-LAW NO. 11

BE IT ENACTED as By-Law No. 11 (being a by-law to define standard units) of Carleton Condominium Corporation No. 6 (hereinafter referred to as the "Corporation") as follows:

**ARTICLE I
DEFINITIONS**

All words used herein which are defined in the *Condominium Act, 1998*, or any successor, ("the Act") shall have ascribed to them the meanings set out in the Act as amended from time to time.

**ARTICLE II
GENERAL**

- (1) The purpose of this by-law is to define the standard unit in this condominium, for the purpose of Section 99 of the Act (insurance).
- (2) Where the materials or specifications set out in this by-law are uncertain or incomplete, the standard unit specifications and materials shall be consistent with "Builder's Standard" construction. In the case of any dispute as to what constitutes "Builder's Standard", a comparison shall be had to the quality of the particular feature being offered by builders of comparable construction at the time of the damage.
- (3) The standard unit does not include features, which are part of the common elements. The Corporation's declaration determines which features are part of the common elements and which features are part of the units. To the extent that the attached schedule include features which are part of the common elements, they are included for reference and information purposes. They are not intended to be part of the standard unit.
- (4) Except as otherwise indicated in this by-law, the standard unit(s) shall include all features of the units mentioned in the declaration or shown in the description (including all registered architectural and structural drawings) of the condominium. In the case of any inconsistency between the declaration or description and the schedules to this By-Law, the schedules to this By-Law shall prevail.
- (5) All replacement materials and re-construction shall conform to the current Ontario Building Code, Ontario Fire Code, Ontario Electrical Safety Code, current Municipal regulations and by-laws, and all applicable bulletins in force. If any component of the standard unit must be upgraded or changed in order to comply with any applicable governmental regulation or code or other law applicable to the repair of insured damage or destruction, the said upgrade or change shall be considered part of the standard unit despite not being clearly defined herein as being part of the standard unit.
- (6) Where the schedules to this By-Law refer to specific brands of equipment or materials, this shall be deemed to include equivalent brands.

- (7) In this condominium, there are four (4) different classes of standard units. Each class is based upon a different model of unit in this condominium. The standard unit for each class or model is defined and described further in plans and specifications contained in the schedule(s) indicated for the particular class. The classes and schedule(s) are as follows:

Class Type	Class Description	Units	Schedule(s)
A	Three Bedroom Townhouse Units	Level 1, Units: 1-4, 8, 9, 12-16, 19, 20-24, 27-33, 36-40, 43-48, 50, 51, 54-57, 64, 65, 70-74, 78-81, 84, 85, 90-93, 96, 97, 100, and 101	1
B	Four Bedroom Townhouse Units	Level 1, Units: 5-7, 10, 11, 17, 18, 25, 26, 34, 35, 41, 42, 49, 52, 53, 58-63, 66-69, 75-77, 82, 83, 86-89, 94, 95, 98, and 99	2
C	One Bedroom Apartment Units	Level 1, Units 102, 104, 107, 110, 113, and 116	3
D	Two Bedroom Apartment Units	Level 1, Units 103, 105, 106, 108, 109, 111, 112, 114, 115, 117, and 118; Levels 2, 3, and 4, Units: 1 to 24	4

ARTICLE III MISCELLANEOUS

- (1) Invalidity: The invalidity of any part of this by-law shall not impair or affect in any manner the validity and enforceability or effect of the balance thereof.
- (2) Waiver: No restriction, condition, obligation or provision contained in this by-law shall be deemed to have been abrogated or waived by reason of any failure to enforce the same irrespective of the number of violations or breaches thereof which may occur.
- (3) Headings: The headings in the body of this by-law form no part thereof but shall be deemed to be inserted for convenience of reference only.

- (4) Alterations: This by-law or any parts thereof may be varied, altered or repealed by a by-law passed in accordance with the provisions of the Act, and the Declaration.

The foregoing by-law is hereby passed by the Directors and confirmed by the owners pursuant to the *Condominium Act, 1998* of Ontario.

DATED this _____ day of _____, 2003.

CARLETON CONDOMINIUM CORPORATION NO. 6

Print Name:

Print Title:

I have authority to bind the Corporation.

Version 5.2 – February 2003

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This document was prepared by Nelligan O'Brien Payne LLP for CCC #6 based on a thorough review of all relevant documentation and the specific circumstances of this condominium. This document may not be appropriate for another condominium.

Please note: The form from which this document was prepared is regularly revised and updated.

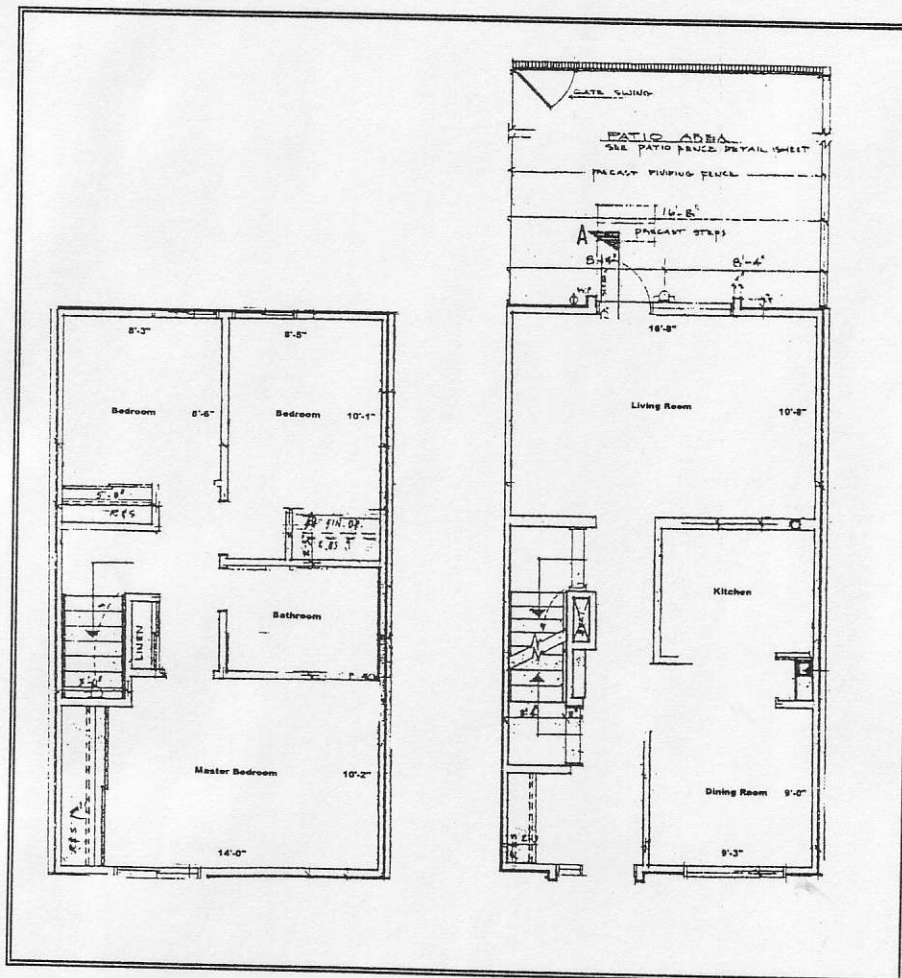
Carleton Condominium Corporation No. 6

Schedule "1"

Class Type A Units - Floor Plans / Specifications

Affiliated Appraisers

FLOOR PLANS - TYPE A UNITS



The above floor plan has been included for illustration purposes only and is not to scale. It should not be considered an exact replica - actual measurements and room/wall locations may vary slightly. All measurements were obtained from the builders original architectural plans.

Carleton Condominium Corporation No. 6

Schedule "1" (continued)

Class Type A Units - Floor Plans / Specifications

*Affiliated Appraisers***DESCRIPTION OF THE TYPE A UNITS**

The following description applies only to the Type A Units which are two storey row units with full basements. This model contains an entry, a combined kitchen and dining room and a living room with access to the back yard on the main floor. Second floors consist of three bedrooms and one four piece bathroom. The gross living area has been estimated at approximately 952 square feet.

Overall Description

- Constructed circa 1970
- Exterior cladding consists of wood siding and stucco
- Asphalt shingle roof cover
- Aluminium fascia and soffits
- Windows were reported to have originally been a mixture of fixed thermopane units and Pearson sliders
- Rear yards are fully fenced with concrete fencing on the sides and wood fencing at the rear

Mechanical and Structural (Overall Building)

- Wood frame construction (2" x 4" exterior walls)
- 2 x 8 inch joists on 16 inch centres
- Poured concrete foundation and basement floor
- Forced air gas heating. No central air conditioning system
- Each unit has a 33.3 gallon gas hot water tank.
- 125 amp maximum electric service (per stamp on panel box) with a 100 amp breaker box
- Plumbing consists of standard copper and plastic (PVC/ABS) piping
- All plumbing and light fixtures are considered to be of standard size/quality unless otherwise noted

General Interior Unit Finish

- Painted softwood baseboard mouldings - approximately 2-1/4 inches in height
- Painted softwood interior door and window trim - approximately 2-1/4 inches in width
- Unless otherwise noted - interior doors (excluding closet doors) consist of standard wood panel doors (not colonial style) with metal knobs
- Unless otherwise noted - closet doors consist of metal framed sliding panel doors (wood type panels) on metal tracts. "Standard sliding doors" referred to in this report consist of two sliding sections
- Drywall (gypsum board) interior walls and partitions - painted with standard quality materials
- Standard quality painting materials are considered to include priming and two coats of flat latex paint with semi-gloss paint in the kitchen and bathrooms
- Drywall ceilings with a stippled finish in all finished areas except the kitchen and bathrooms which are painted with standard quality materials

Unit Ceiling Clearances

- Main Floor - ceiling clearance of approximately 7.5 feet
- Second Floor - ceiling clearance of approximately 7.5 feet
- Basement - a ceiling clearance of approximately 7.0 feet

Carleton Condominium Corporation No. 6

Schedule "1" (continued)

Class Type A Units - Floor Plans / Specifications

*Affiliated Appraisers***Main Level****Unit Entry Description**

- Standard quality vinyl tile flooring
- One - ceiling mounted light fixture with a basic globe type shade and a metal base/frame - single incandescent bulb
- One closet with a standard sliding door - full width hanging rod and shelf
- Original entry doors are reported to have been solid core wood units with a side light window opening (running the length of the door) beside the door jam. Door hardware consists of a basic quality brass dead bolt and separate knob
- No storm doors (installed after construction)

Living Room Description

- Standard quality vinyl tile flooring
- No light fixture - one switched receptacle (typically intended for a lamp)
- "Picture" sized fixed window with a sliding section at the bottom
- Solid core wood door with a glass insert in the centre leading to the back yard.
- No storm doors (installed after construction)

Dining Room Description

- Standard quality vinyl tile flooring
- Ceiling mounted light fixture - inspected units were upgraded. Original dining room light was most likely a standard quality incandescent fixture - commensurate with the quality of other light fixtures described in this report
- Two Pearson sliders
- Open to the kitchen

Kitchen Description

- Standard quality vinyl tile flooring
- One ceiling mounted incandescent light fixture with a globe type glass shade and metal base/frame
- Melamine square counter top
- Melamine cabinets
- Single stainless sink
- Dual knob faucet with a chrome finish - no spray attachment
- Ceiling vent above the stove, vented to the exterior
- No windows

Second Level**Stairwell**

- Standard quality vinyl tile on the steps and stair risers
- Wall mounted wood hand rail

Hallway

- Standard quality vinyl tile flooring
- Linen closet with multiple shelves (approximately four shelves) and a sliding metal door
- One - ceiling mounted light fixture with a basic teardrop type shade and a metal base/frame - single incandescent bulb

Main Bathroom

- Four piece bathroom - standard quality fixtures consisting of a sink, toilet and a combined tub and shower head (no separate shower enclosure)
- Standard size/quality enamel covered sink - dual knob faucet with a chrome finish

Carleton Condominium Corporation No. 6

Schedule "1" (continued)

Class Type A Units - Floor Plans / Specifications

Affiliated Appraisers

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- Standard quality/size tub - enamel covered with a dual knob chrome finished faucet
 - Ceramic tile tub enclosure with a full length curtain rod
 - Standard quality vinyl tile flooring
 - One - standard quality wall mounted light fixture above the vanity
 - Vanity with a square top - melamine counter and one melamine cabinet door and no drawers
 - Flat wall mounted mirror. Also has a standard medicine cabinet with a hinged - mirrored door
 - No window

Master Bedroom Description

- Standard quality vinyl tile flooring
- One - ceiling mounted light fixture with two incandescent bulbs and a glass shade
- One closet with a sliding door - full width hanging rod and shelf.
- Standard slider window (Pearson)

Second Bedroom Description

- Standard quality vinyl tile flooring
- One - ceiling mounted light fixture with two incandescent bulbs and a glass shade
- One closet with a standard sliding door - full width hanging rod and shelf
- Standard slider window (Pearson)

Third Bedroom Description

- Standard quality vinyl tile flooring
- One - ceiling mounted light fixture with two incandescent bulbs and a glass shade
- One closet with a standard sliding door - full width hanging rod and shelf
- Standard slider window (Pearson)

Basement Level**Stairwell Description**

- Upper section (level with the main floor) of the stairwell is finished - painted drywall walls and stippled drywall ceilings
- Painted wood stairs with open risers (no finish flooring)
- Basic ceiling mounted bare bulb light fixture
- Wall mounted hand rail

Unfinished Basement

- Walls, ceiling and floors are unfinished
- Exterior foundation walls are insulated and drywalled to the "frost line" (untaped/unfinished drywall)
- Three - basic ceiling mounted bare bulb light fixtures
- Washer and dryer hook-ups
- Single plastic sink - low quality copper faucet with plastic knobs (typical for an unfinished basement)
- Furnace and hot water tank are located in the basement
- Two small slider window

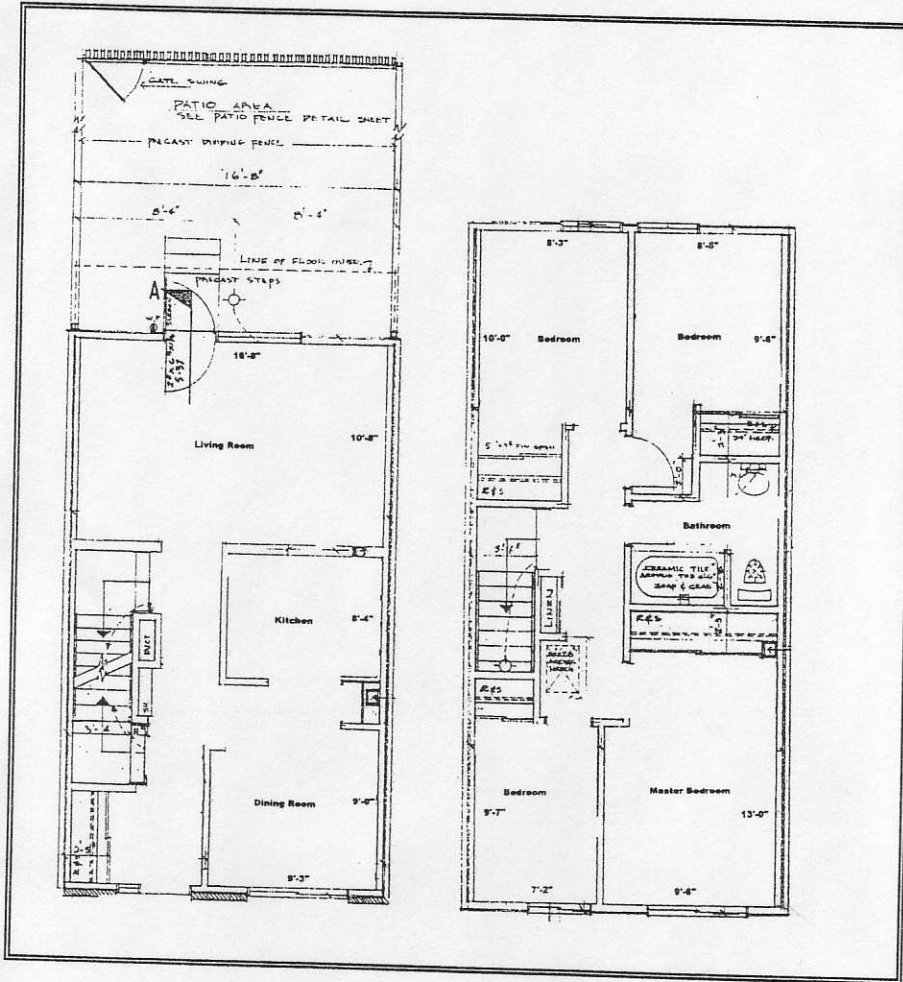
Carleton Condominium Corporation No. 6

Schedule "2"

Class Type B Units - Floor Plans / Specifications

Affiliated Appraisers

FLOOR PLANS - TYPE B UNITS



The above floor plan has been included for illustration purposes only and is not to scale. It should not be considered an exact replica - actual measurements and room/wall locations may vary slightly. All measurements were obtained from the builders original architectural plans.

Carleton Condominium Corporation No. 6

Schedule "2" (continued)

Class Type B Units - Floor Plans / Specifications

*Affiliated Appraisers***DESCRIPTION OF THE TYPE B UNITS**

The following description applies only to the Type B Units which are two storey row units with full basements. This model contains an entry, a combined kitchen and dining room and a living room with access to the back yard on the main floor. Second floors consist of four bedrooms and one four piece bathroom. The gross living area has been estimated at approximately 1,088 square feet.

Overall Description

- Constructed circa 1970
- Exterior cladding consists of wood siding, asphalt shingle, and brick veneer at the front of the unit
- Asphalt shingle roof cover
- Aluminium fascia and soffits
- Windows were reported to have originally been a mixture of fixed thermopane units and Pearson sliders
- Rear yards are fully fenced with concrete fencing on the sides and wood at the rear

Mechanical and Structural (Overall Building)

- Wood frame construction (2" x 4" exterior walls)
- 2 x 8 inch joists on 16 inch centres
- Poured concrete foundation and basement floor
- Forced air gas heating. No central air conditioning system
- Each unit has a 33.3 gallon gas hot water tank.
- 125 amp maximum electric service (per stamp on panel box) with a 100 amp breaker box
- Plumbing consists of standard copper and plastic (PVC/ABS) piping
- All plumbing and light fixtures are considered to be of standard size/quality unless otherwise noted

General Interior Unit Finish

- Painted softwood baseboard mouldings - approximately 2-1/4 inches in height
- Painted softwood interior door and window trim - approximately 2-1/4 inches in width
- Unless otherwise noted - interior doors (excluding closet doors) consist of standard wood panel doors (not colonial style) with metal knobs
- Unless otherwise noted - closet doors consist of metal framed sliding panel doors (wood type panels) on metal tracts. "Standard sliding doors" referred to in this report consist of two sliding sections
- Drywall (gypsum board) interior walls and partitions - painted with standard quality materials
- Standard quality painting materials are considered to include priming and two coats of flat latex paint with semi-gloss paint in the kitchen and bathrooms
- Drywall ceilings with a stippled finish in all finished areas except the kitchen and bathrooms which are painted with standard quality materials

Unit Ceiling Clearances

- Main Floor - ceiling clearance of approximately 7.5 feet
- Second Floor - ceiling clearance of approximately 7.5 feet
- Basement - a ceiling clearance of approximately 7.0 feet

Carleton Condominium Corporation No. 6

Schedule "2" (continued)

Class Type B Units - Floor Plans / Specifications

*Affiliated Appraisers***Main Level****Unit Entry Description**

- Standard quality vinyl tile flooring
- One - ceiling mounted light fixture with a basic teardrop type shade and a metal base/frame - single incandescent bulb
- One closet with a standard sliding door - full width hanging rod and shelf
- Original entry doors are reported to have been solid core wood units with a sidelight window opening (running the length of the door) beside the door jam. Door hardware consists of a basic quality brass dead bolt and separate knob
- No storm doors (installed after construction)

Living Room Description

- Standard quality sheet vinyl flooring
- No light fixture - one switched receptacle (typically intended for a lamp)
- "Picture" sized fixed window with a sliding section at the bottom
- Solid core wood door with a glass insert in the centre leading to the back yard.
- No storm doors (installed after construction)

Dining Room Description

- Standard quality sheet vinyl flooring
- Ceiling mounted light fixture - inspected units were upgraded. Original dining room light was most likely a standard quality incandescent fixture - commensurate with the quality of other light fixtures described in this report
- Two Pearson sliders
- Open to the kitchen

Kitchen Description

- Standard quality sheet vinyl flooring
- One ceiling mounted incandescent light fixture with a globe type glass shade and metal base/frame
- Melamine square counter top
- Melamine cabinets
- Single stainless sink
- Dual knob faucet with a chrome finish - no spray attachment
- Ceiling vent above the stove, vented to the exterior
- No windows

Second Level**Stairwell**

- Standard quality vinyl tile on the steps and stair risers
- Wall mounted wood hand rail

Hallway

- Standard quality sheet vinyl flooring
- Linen closet with multiple shelves (approximately four shelves) and a sliding metal door
- One - ceiling mounted light fixture with a basic teardrop type shade and a metal base/frame - single incandescent bulb

Main Bathroom

- Four piece bathroom - standard quality fixtures consisting of a sink, toilet and a combined tub and shower head (no separate shower enclosure)
- Standard size/quality enamel covered sink - dual knob faucet with a chrome finish

Carleton Condominium Corporation No. 6

Schedule "2" (continued)

Class Type B Units - Floor Plans / Specifications

Affiliated Appraisers

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- Standard quality/size tub - enamel covered with a dual knob chrome finished faucet
 - Ceramic tile tub enclosure with a full length curtain rod
 - Standard quality sheet vinyl flooring
 - One - standard quality wall mounted light fixture above the vanity
 - Vanity with a square top - melamine counter and three melamine cabinet doors and four drawers
 - Flat wall mounted mirror. Also has a standard medicine cabinet with a hinged - mirrored door
 - No window

Master Bedroom Description

- Standard quality sheet vinyl flooring
- One - ceiling mounted light fixture with two incandescent bulbs and a glass shade
- One closet with a sliding door - full width hanging rod and shelf.
- Standard slider window (Pearson)

Second Bedroom Description

- Standard quality sheet vinyl flooring
- One - ceiling mounted light fixture with two incandescent bulbs and a glass shade
- One closet with a standard sliding door - full width hanging rod and shelf
- Standard slider window (Pearson)

Third Bedroom Description

- Standard quality sheet vinyl flooring
- One - ceiling mounted light fixture with two incandescent bulbs and a glass shade
- One closet with a standard sliding door - full width hanging rod and shelf
- Standard slider window (Pearson)

Fourth Bedroom Description

- Standard quality sheet vinyl flooring
- One - ceiling mounted light fixture with two incandescent bulbs and a glass shade
- One closet with a standard sliding door - full width hanging rod and shelf
- Standard slider window (Pearson)

Basement Level**Stairwell Description**

- Upper section (level with the main floor) of the stairwell is finished - painted drywall walls and stippled drywall ceilings
- Painted wood stairs with open risers (no finish flooring)
- Basic ceiling mounted bare bulb light fixture
- Wall mounted hand rail

Unfinished Basement

- Walls, ceiling and floors are unfinished
- Exterior foundation walls are insulated and drywalled to the "frost line" (untaped/unfinished drywall)
- Three - basic ceiling mounted bare bulb light fixtures
- Washer and dryer hook-ups
- Single plastic sink - low quality copper faucet with plastic knobs (typical for an unfinished basement)
- Furnace and hot water tank are located in the basement
- Two small slider window

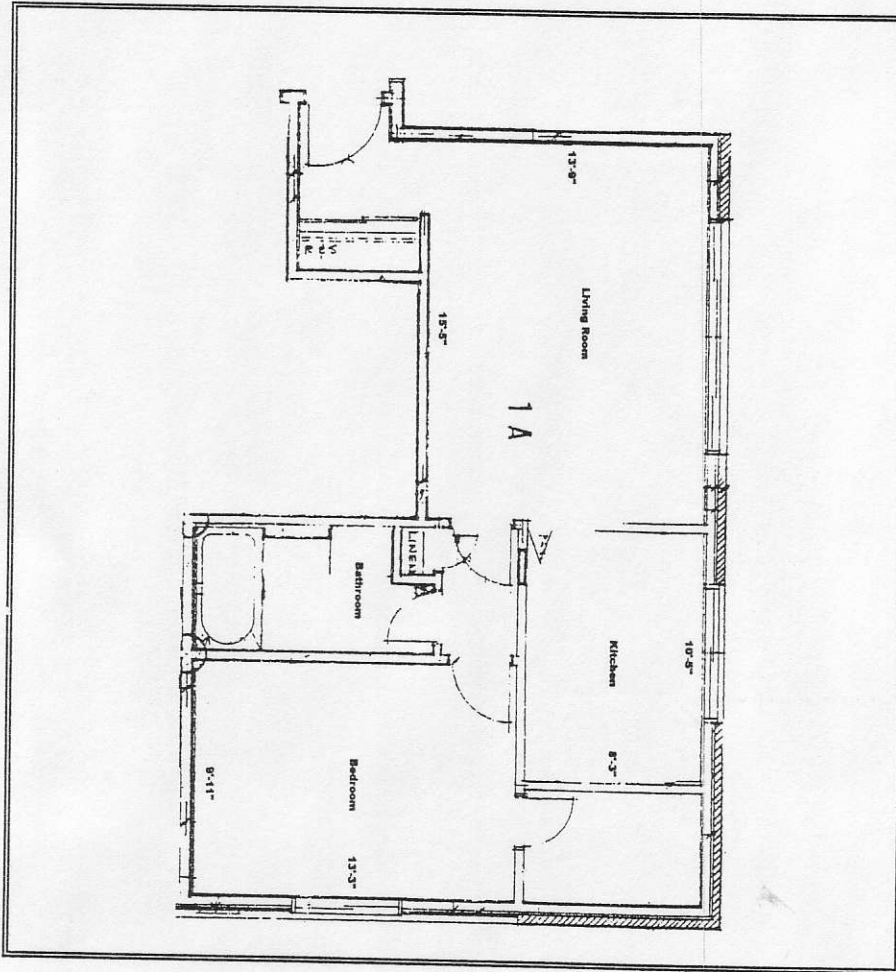
Carleton Condominium Corporation No. 6

Schedule "3"

Class Type C Units - Floor Plans / Specifications

Affiliated Appraisers

FLOOR PLANS - TYPE C UNITS



The above floor plan has been included for illustration purposes only and is not to scale. It should not be considered an exact replica - actual measurements and room/wall locations may vary slightly. All measurements were obtained from the builders original architectural plans.

Carleton Condominium Corporation No. 6

Schedule "3" (continued)

Class Type C Units - Floor Plans / Specifications

*Affiliated Appraisers***DESCRIPTION OF THE TYPE C UNITS**

The following description applies only to the Type C Units which are one bedroom apartments located in the basement of each of the six apartment buildings. This model contains an entry, living room/dining room, eat-in kitchen, a bedroom and a four piece bathroom on the main floor. The gross living area has been estimated at approximately 569 square feet.

Overall Description

- Constructed circa 1970
- Exterior cladding consists of aluminum siding and brick veneer
- Tar and gravel roof cover (flat roof)
- Aluminium fascia and soffits
- Windows were reported to have originally been a mixture of fixed thermopane units and Pearson sliders

Mechanical and Structural (Overall Building)

- Poured concrete foundation and basement floor
- Radiant heat from a gas boiler. No central air conditioning system
- Hot water is provided through the boiler system.
- 125 amp maximum electric service (per stamp on panel box) with a 100 amp breaker box
- Plumbing consists of standard copper and plastic (PVC/ABS) piping
- All plumbing and light fixtures are considered to be of standard size/quality unless otherwise noted

General Interior Unit Finish

- Painted softwood baseboard mouldings - approximately 2-1/4 inches in height
- Painted softwood interior door and window trim - approximately 2-1/4 inches in width
- Unless otherwise noted - interior doors (excluding closet doors) consist of standard wood panel doors (not colonial style) with metal knobs
- Unless otherwise noted - closet doors consist of metal framed sliding panel doors (wood type panels) on metal tracts. "Standard sliding doors" referred to in this report consist of two sliding sections
- Drywall (gypsum board) interior walls and partitions - painted with standard quality materials
- Standard quality painting materials are considered to include priming and two coats of flat latex paint with semi-gloss paint in the kitchen and bathrooms
- Drywall ceilings with a stippled finish in all finished areas except the kitchen and bathrooms which are painted with standard quality materials

Unit Ceiling Clearances

- Basement - ceiling clearance of approximately 7.5 feet

Carleton Condominium Corporation No. 6

Schedule "3" (continued)

Class Type C Units - Floor Plans / Specifications

*Affiliated Appraisers***Main Level****Unit Entry Description**

- A main entry is located in the middle of the building with stairs leading both up and down
- Individual entry is off the main corridor on each floor
- Standard quality vinyl tile flooring
- One - ceiling mounted light fixture with a basic globe type shade and a metal base/frame - single incandescent bulb
- One closet with a standard sliding door - full width hanging rod and shelf
- Original entry door was a solid core wood unit. Door hardware consists of a basic quality brass dead bolt and separate knob

Living Room Description

- Standard quality vinyl tile flooring
- No light fixture - one switched receptacle (typically intended for a lamp)
- Two Pearson slider windows

Kitchen Description

- Eat-in kitchen
- Standard quality vinyl tile flooring
- One ceiling mounted incandescent light fixture - with a globe type glass shade and metal base/frame.
- Melamine square counter top
- Melamine cabinets
- Single stainless steel sink
- Dual knob faucet with a chrome finish - no spray attachment
- Metal range hood
- Standard slider window (Pearson)

Hallway

- Standard quality vinyl tile flooring
- Linen closet with multiple shelves (approximately four shelves) and a wood closet door
- One - ceiling mounted light fixture with a basic globe type shade and a metal base/frame - single incandescent bulb

Main Bathroom

- Four piece bathroom - standard quality fixtures consisting of a sink, toilet and a combined tub and shower head (no separate shower enclosure)
- Standard size/quality enamel covered sink - dual knob faucet with a chrome finish
- Standard quality/size tub - enamel covered with a dual knob chrome finished faucet
- Ceramic tile tub enclosure with a full length curtain rod
- Standard quality vinyl tile flooring
- One - standard light fixture (2 bulbs), wall mounted over sink
- Vanity with a square top - melamine counter and two melamine cabinet doors
- Flat wall mounted mirror. Also has a standard medicine cabinet with a hinged mirrored door

Master Bedroom Description

- Standard quality vinyl tile flooring
- One - ceiling mounted light fixture with a basic globe type shade and a metal base/frame - single incandescent bulb
- One walk-in closet with a full width hanging rod and shelf on two walls. The closet has a hinged panel door and a basic ceiling mounted bare bulb light
- Standard slider window (Pearson)

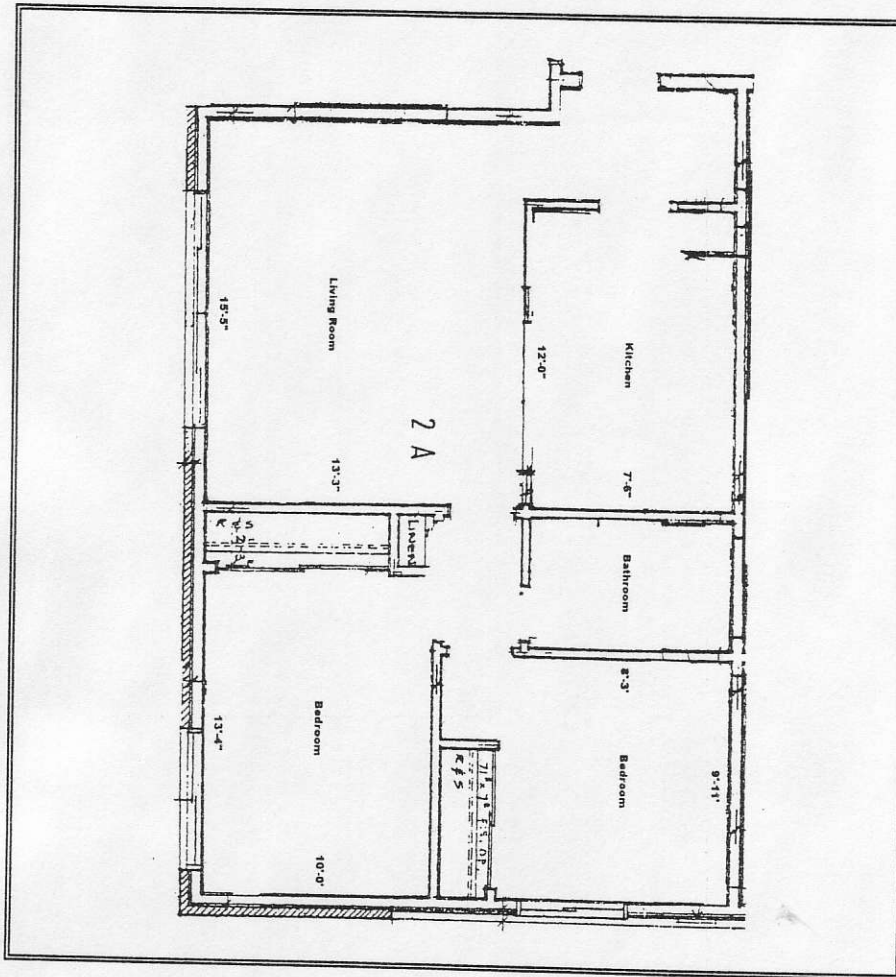
Carleton Condominium Corporation No. 6

Schedule "4"

Class Type D Units - Floor Plans / Specifications

Affiliated Appraisers

FLOOR PLANS - TYPE D UNITS



The above floor plan has been included for illustration purposes only and is not to scale. It should not be considered an exact replica - actual measurements and room/wall locations may vary slightly. All measurements were obtained from the builders original architectural plans.

Carleton Condominium Corporation No. 6

Schedule "4" (continued)

Class Type D Units - Floor Plans / Specifications

*Affiliated Appraisers***DESCRIPTION OF THE TYPE D UNITS**

Type D Units are two bedroom apartment units . Each apartment contains an entry, two bedrooms, a full bathroom , a combined living room / dining room and an eat-in kitchen. Gross living area has been estimated at approximately 693 square feet.

Overall Description

- Constructed circa 1970
- Exterior cladding consists of aluminum siding and brick veneer.
- Tar and gravel roof cover (flat roof)
- Aluminium fascia and soffits
- Windows were reported to have originally been a mixture of fixed thermopane units and Pearson sliders

Mechanical and Structural (Overall Building)

- Poured concrete foundation and basement floor
- Radiant heat from a gas boiler. No central air conditioning system
- Hot water is provided through the boiler system.
- 125 amp maximum electric service (per stamp on panel box) with a breaker box
- Plumbing consists of standard copper and plastic (PVC/ABS) piping
- All plumbing and light fixtures are considered to be of standard size/quality unless otherwise noted

General Interior Unit Finish

- Painted softwood baseboard mouldings - approximately 2-1/4 inches in height
- Painted softwood interior door and window trim - approximately 2-1/4 inches in width
- Unless otherwise noted - interior doors (excluding closet doors) consist of standard wood panel doors (not colonial style) with metal knobs
- Unless otherwise noted - closet doors consist of metal framed sliding panel doors (wood type panels) on metal tracts. "Standard sliding doors" referred to in this report consist of two sliding sections
- Drywall (gypsum board) interior walls and partitions - painted with standard quality materials
- Standard quality painting materials are considered to include priming and two coats of flat latex paint with semi-gloss paint in the kitchen and bathrooms
- Drywall ceilings with a stippled finish in all finished areas except the kitchen and bathrooms which are painted with standard quality materials

Unit Ceiling Clearances

- Above grade - ceiling clearance of approximately 7.5 feet
- Basement - ceiling clearance of approximately 7.5 feet

Carleton Condominium Corporation No. 6

Schedule "4" (continued)

Class Type D Units - Floor Plans / Specifications

*Affiliated Appraisers***Main Level****Unit Entry Description**

- A main entry is located in the middle of the building with stairs leading both up and down
- Individual entry is off the main corridor on each floor
- Standard quality vinyl tile flooring
- One - ceiling mounted light fixture with a basic globe type shade and a metal base/frame - single incandescent bulb
- One closet with a standard sliding door - full width hanging rod and shelf
- Original entry door was a solid core wood unit. Door hardware consists of a basic quality brass dead bolt and separate knob

Living Room Description

- Standard quality vinyl tile flooring
- No light fixture - one switched receptacle (typically intended for a lamp)
- One large picture window with Pearson sliders

Kitchen Description

- Eat-in kitchen
- Standard quality vinyl tile flooring
- One ceiling mounted incandescent light fixture - with a globe type glass shade and metal base/frame
- Melamine square counter top
- Melamine cabinets
- Single stainless steel sink
- Dual knob faucet with a chrome finish - no spray attachment
- Metal range hood

Hallway

- Standard quality vinyl tile flooring
- Linen closet with multiple shelves (approximately four shelves) and a wood closet door
- One - ceiling mounted light fixture with a basic globe type shade and a metal base/frame - single incandescent bulb

Main Bathroom

- Four piece bathroom - standard quality fixtures consisting of a sink, toilet and a combined tub and shower head (no separate shower enclosure)
- Standard size/quality enamel covered sink - dual knob faucet with a chrome finish
- Standard quality/size tub - enamel covered with a dual knob chrome finished faucet
- Ceramic tile tub enclosure with a full length curtain rod
- Standard quality vinyl tile flooring
- One - standard light fixture (2 bulbs), wall mounted over sink
- Vanity with a square top - melamine counter and two melamine cabinet doors
- Flat wall mounted mirror. Also has a standard medicine cabinet with a hinged mirrored door

Master Bedroom Description

- Standard quality vinyl tile flooring
- One - ceiling mounted light fixture with a basic globe type shade and a metal base/frame - two incandescent bulbs
- One large closet with a sliding door and a full width hanging rod and shelf
- Standard slider window (Pearson)

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Schedule "4" (continued)

Class Type D Units - Floor Plans / Specifications

Affiliated Appraisers

Second Bedroom Description

- Standard quality vinyl tile flooring
- One - ceiling mounted light fixture with a basic globe type shade and a metal base/frame - two incandescent bulbs
- One large closet with a sliding door and a full width hanging rod and shelf
- Standard slider window (Pearson)