

Schedule "A"

CARLETON CONDOMINIUM CORPORATION NO. 59

BY-LAW NO. 13

BE IT ENACTED as By-Law No. 13 (being a by-law to define standard units) of Carleton Condominium Corporation No. 59 (hereinafter referred to as the "Corporation") as follows:

**ARTICLE I
DEFINITIONS**

All words used herein which are defined in the *Condominium Act, 1998*, or any successor, ("the Act") shall have ascribed to them the meanings set out in the Act as amended from time to time.

**ARTICLE II
GENERAL**

- (1) The purpose of this by-law is to define the standard unit in this condominium, for the purpose of Section 99 of the Act (insurance).
- (2) Where the materials or specifications set out in this by-law are uncertain or incomplete, the standard unit specifications and materials shall be consistent with "Builder's Standard" construction. In the case of any dispute as to what constitutes "Builder's Standard", a comparison shall be had to the quality of the particular feature being offered by builders of comparable construction at the time of the damage.
- (3) The standard unit does not include features, which are part of the common elements. The Corporation's declaration determines which features are part of the common elements and which features are part of the units. To the extent that the attached schedule include features which are part of the common elements, they are included for reference and information purposes. They are not intended to be part of the standard unit.
- (4) Except as otherwise indicated in this by-law, the standard unit(s) shall include all features of the units mentioned in the declaration or shown in the description (including Sheets 1 to 55 of Part 2 of the description being the registered architectural and structural drawings) of the condominium. In the case of any inconsistency between the declaration or description and the schedules to this By-Law, the schedules to this By-Law shall prevail.
- (5) All replacement materials and re-construction shall conform to the current Ontario Building Code, Ontario Fire Code, Ontario Electrical Safety Code, current Municipal regulations and by-laws, and all applicable bulletins in force. If any component of the standard unit must be upgraded or changed in order to comply with any applicable governmental regulation or code or other law applicable to the repair of insured damage or destruction, the said upgrade or change shall be considered part of the standard unit despite not being clearly defined herein as being part of the standard unit.
- (6) Where the schedules to this By-Law refer to specific brands of equipment or materials, this shall be deemed to include equivalent brands.
- (7) In this condominium, there are five (5) different classes of standard units. Each class is based upon a different model of unit in this condominium. The standard unit for each class or model is defined and described further in plans and specifications contained in the schedule(s) indicated for the particular class. The classes and schedule(s) are as follows:

Class Number	Class Description	Units	Schedule(s)
1	Model 3A	Units 4, 5, 7, 8, 12, 21, 24, 26, 30, 34, 39, 61, 62, 71, 72, 76, 77, 88, 89, 95, 96, 102, 111, 114, 117 and 120, Level 1	1 and 2
2	Model 3B	Units 1, 2, 3, 9, 10, 11, 19, 20, 22, 23, 27, 28, 29, 31, 32, 33, 35, 37, 38, 40, 41, 42, 63, 73, 78, 79, 90, 91, 92, 93, 94, 97, 98, 99, 100, 101, 112, 113, 118 and 119, Level 1	3 and 4
3	Model 3C	Units 6, 25, 36, 60, 70, 74, 75, 80, 87, 103, 110, 115, 116 and 121, Level 1	5 and 6
4	Model 4A	Units 14, 15, 16, 17, 44, 45, 46, 47, 48, 50, 50, 51, 52, 53, 54, 56, 57, 58, 59, 65, 66, 67, 68, 69, 82, 83, 84, 85, 105, 106, 107 and 108, Level 1	7 and 8
5	Model 4B	Units 13, 18, 43, 49, 55, 64, 81, 86, 104 and 109, Level 1	9 and 10

**ARTICLE III
MISCELLANEOUS**

- (1) **Invalidity:** The invalidity of any part of this by-law shall not impair or affect in any manner the validity and enforceability or effect of the balance thereof.
- (2) **Waiver.** No restriction, condition, obligation or provision contained in this by-law shall be deemed to have been abrogated or waived by reason of any failure to enforce the same irrespective of the number of violations or breaches thereof which may occur.
- (3) **Headings:** The headings in the body of this by-law form no part thereof but shall be deemed to be inserted for convenience of reference only.

- (4) Alterations: This by-law or any parts thereof may be varied, altered or repealed by a by-law passed in accordance with the provisions of the Act, and the Declaration.

The foregoing by-law is hereby passed by the Directors and confirmed by the owners pursuant to the *Condominium Act, 1998* of Ontario.

DATED this 1st day of December, 2003.

CARLETON CONDOMINIUM CORPORATION NO. 59



ROBERT NOT, PR

Print Name:

Print Title: PRESIDENT

I have authority to bind the Corporation.

Version 5.2 – February 2003

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This document was prepared by Nelligan O'Brien Payne LLP for CCC #59 based on a thorough review of all relevant documentation and the specific circumstances of this condominium. This document may not be appropriate for another condominium.

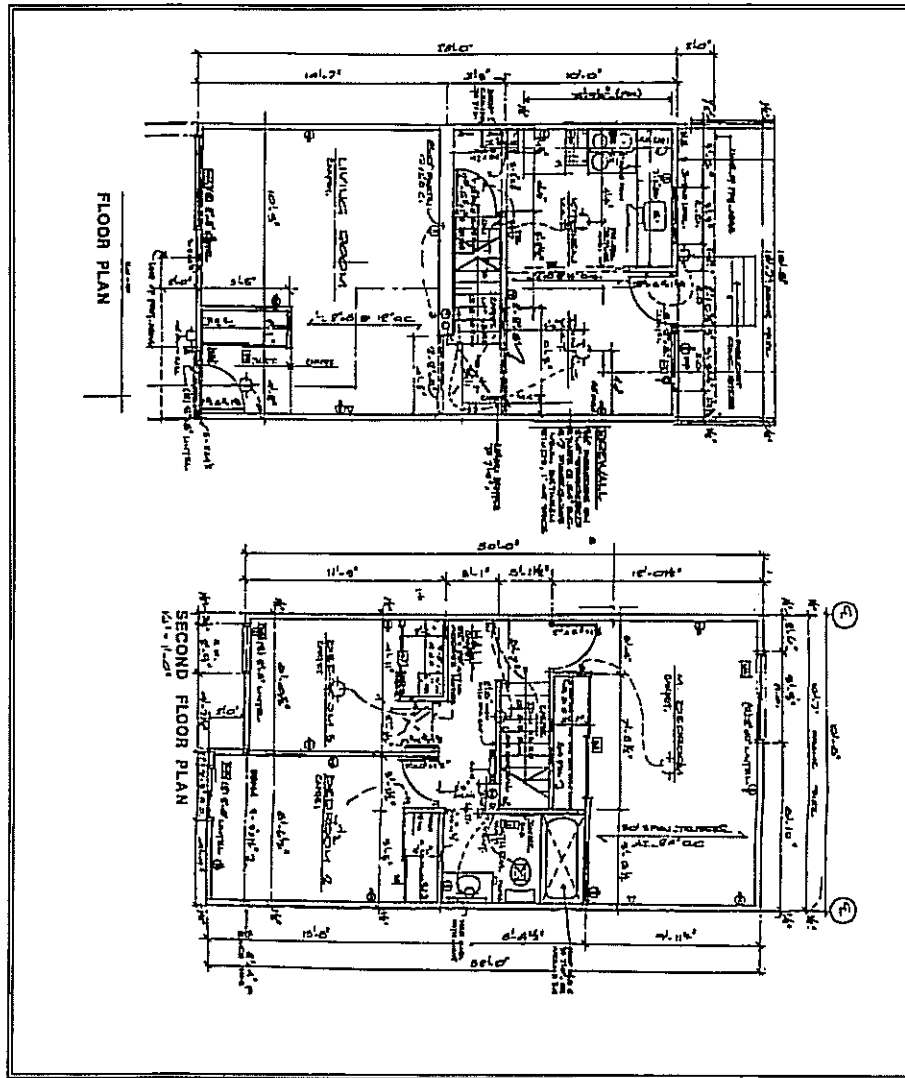
Please note: The form from which this document was prepared is regularly revised and updated.

Schedule "1"
Carleton Condominium Corporation No. 59
Floor Plan for Class 1 - Model 3A

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FLOOR PLANS - MODEL TYPE 3-A



The above floor plans were scanned from the builders original architectural plans and are of limited quality. Room dimensions were scaled from the architectural plans and are approximate - plans did not include room dimensions.

Schedule "2"
 Carleton Condominium Corporation No. 59
 Specifications for Class 1 – Model 3A

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DESCRIPTION OF MODEL TYPE 3-A

The following description applies only to Model Type 3-A which is a two storey row unit with a full basement. This model contains an entry, a living room and a combined dining room and kitchen on the main floor. Second floors consist of three bedrooms and a four piece bathroom. The gross living area has been estimated from dimensions obtained from the original builders plans at approximately 980 square feet.

Overall Description

- Constructed in the mid 1970's (Circa 1975)
- Exterior cladding consists of a mix of wood siding and stucco
- Asphalt shingle roof cover
- Aluminum fascia and soffits
- Windows were reported to have originally been Pearson sliders with a wood thermopane picture window in the living room (see following living room description). Some windows have been recently replaced with vinyl thermopane units. All window openings are screened
- Rear yards have wood privacy fences with gates

Mechanical and Structural (Overall Building)

- Wood frame construction
- 2 x 8 inch joists on 16 inch centres
- Poured concrete foundation and basement floor
- Forced air gas heating. No central air conditioning system
- Each unit has an approximately 40 gallon gas hot water tank. A stamp on the water tank indicated that the units are rented from a local utility provider
- 125 amp maximum electric service (per stamp on panel box) with a breaker panel. 100 amp service estimated
- Ceiling mounted – smoke detector located in the hallway (in accordance with applicable building codes)
- Plumbing consists of standard copper and plastic/ABS piping
- All plumbing and light fixtures are considered to be of standard size/quality unless otherwise noted

General Interior Unit Finish

- Painted softwood baseboard mouldings – approximately 2½ inches in height
- Painted softwood interior door and window trim - approximately 2-1/4 inches in width
- Unless otherwise noted, interior doors (excluding closet doors) consist of standard hollow core flat panel doors (not colonial style) with plastic knobs
- Unless otherwise noted, closet doors consist of metal framed sliding panel doors (wood type panels). These doors have two floor to ceiling panel sections, are mounted on metal tracks and are referred to as "standard sliding doors" in this report
- Drywall (gypsum board) interior walls and partitions - painted with standard quality materials
- Standard quality painting materials are considered to include priming and two coats of flat latex paint with semi-gloss paint in the kitchen and bathrooms
- Drywall ceilings with a stippled finish in all finished areas except the bathroom which is painted with standard quality semi gloss latex

Unit Ceiling Clearances

- Main Floor – ceiling clearance of approximately 7.6 feet
- Second Floor – ceiling clearance of approximately 7.6 feet
- Basement – ceiling clearance of approximately 7.0 feet

Schedule "2" (Continued)
 Carleton Condominium Corporation No. 59
 Specifications for Class I – Model 3A

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Main Level

Unit Entry Description

- Standard quality vinyl composition tile flooring
- One ceiling mounted light with an open bottom basic globe type shade and a brass base/frame – single incandescent bulb
- One closet with a two section standard sliding door and a hanging rod and two shelves
- Metal entry door with one horizontal fixed thermopane window to the side of the door jam. Door hardware consists of a standard quality brass dead bolt and separate knob
- Standard metal exterior storm door

Kitchen Description

- Eat-in kitchen
- Standard quality vinyl composition tile flooring
- One ceiling mounted light fixture with a globe type glass shade and metal base/frame – single incandescent bulb
- Melamine square top counter
- Melamine cabinets
- Single stainless steel sink
- Dual knob faucet with a chrome finish and a swing spout - no spray attachment
- Metal range hood with a two bulb incandescent light and a single speed electric exhaust fan – vented to the exterior
- One Pearson sliding window (not thermopane)

Dining Room Description

- Standard quality vinyl composition tile flooring
- One ceiling mounted light fixture with an globe type glass shade and metal base/frame – single incandescent bulb
- Wood framed fixed thermopane unit with sliders below
- Metal door with a fixed thermopane window in the upper half leading to the back yard - Door hardware consists of a basic quality brass dead bolt and separate knob

Living Room Description

- Standard quality low pile carpet flooring with commensurate under padding
- No light fixture – one switched receptacle (typically intended for a lamp)
- Originally a wood thermopane "Picture" sized fixed window with a sliding opener at the bottom – recently updated to a similar vinyl thermopane (fixed and sliding thermopane) window

Second Level

Stairwell

- Standard quality low pile carpet with commensurate under padding on the steps and stair risers
- Wall mounted wood handrail

Hallway

- Standard quality low pile carpet with commensurate under padding
- Half-wall partition dividing the hallway and stairwell
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- Ceiling mounted smoke detector
- No closet

Schedule "2" (Continued)
 Carleton Condominium Corporation No. 59
 Specifications for Class 1 – Model 3A

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Main Bathroom

- Four piece bathroom – standard quality fixtures consisting of a sink, toilet and a combined tub and shower head (no separate shower enclosure)
- Standard size/quality enamel covered sink – dual knob faucet with a chrome finish
- Standard quality/size tub – enamel covered with a dual knob chrome finished faucet
- Ceramic tile tub enclosure with a full length curtain rod
- Standard quality vinyl composition tile flooring
- Metal framed mirror/medicine cabinet unit
- One wall mounted light fixture over medicine cabinet with two incandescent bulb
- Vanity with a square top melamine counter, a basic one course/row ceramic backsplash and two melamine cabinet doors
- Standard quality electric exhaust fan with a separate switch – vented to the exterior
- No window

Master Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- One closet with a standard sliding door
- Pearson slider window (not thermopane)

Second Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- One closet with a standard two section sliding door – full width hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Third Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- One closet with a standard two section sliding door
- Standard Pearson slider window (not thermopane)

Basement Level

Stairwell Description

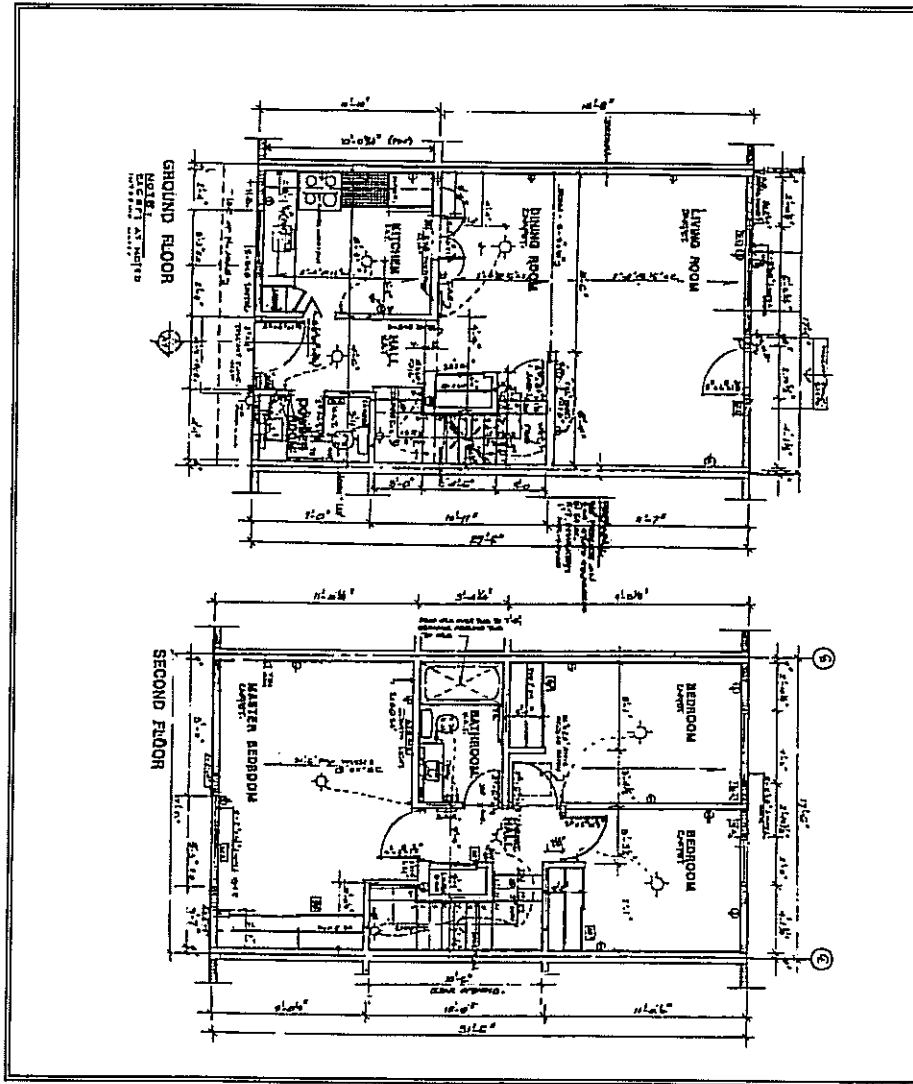
- Wood bifold door at the top of the stairwell (close to kitchen)
- Finished stairwell – painted drywall walls and stippled drywall ceilings
- Painted wood stairs with open risers (no finish flooring)
- Ceiling mounted single bulb incandescent light fixture with a circular enclosed glass shade and metal frame
- Wall mounted wood handrail with metal brackets

Unfinished Basement

- Walls, ceiling and floors are unfinished
- Exterior foundation walls are insulated and drywalled (untaped drywall) to the "frost line" – four feet from the ceiling
- Three basic ceiling mounted bare bulb light fixtures
- Washer and dryer hook-ups
- Single plastic sink/laundry tub – low quality copper faucet with plastic knobs (typical for an unfinished basement)
- Furnace and hot water tank are located in the basement
- Small double pane window (not thermopane)

Schedule "3"
Carleton Condominium Corporation No. 59
Floor Plan for Class 2 - Model 3B

FLOOR PLANS - MODEL TYPE 3-B



The above floor plans were scanned from the builders original architectural plans and are of limited quality. Room dimensions were scaled from the architectural plans and are approximate - plans did not include room dimensions.

Schedule "4"
 Carleton Condominium Corporation No. 59
 Specifications for Class 2 – Model 3B

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DESCRIPTION OF MODEL TYPE 3-B

The following description applies only to Model Type 3B which is a two storey row unit with a full basement. This model contains an entry, an L-shaped combined living and dining room a walk-through kitchen and a powder room on the main floor. Second floor consists of three bedrooms and a four piece bathroom. The gross living area has been estimated from dimensions obtained from the original builders plans at approximately 1,067 square feet.

Overall Description

- Constructed in the mid 1970's (Circa 1975)
- Exterior cladding consists of a mix of wood siding and stucco
- Asphalt shingle roof cover
- Wood fascia and soffits
- Windows were reported to have originally been Pearson sliders with a wood thermopane window in the living room (see following living room description). Some windows have been recently replaced with vinyl thermopane units. All window openings are screened
- Rear yards have wood privacy fences with gates

Mechanical and Structural (Overall Building)

- Wood frame construction
- 2 x 8 inch joists on 16 inch centres
- Poured concrete foundation and basement floor
- Forced air gas heating. No central air conditioning system
- Each unit has an approximately 40 gallon gas hot water tank. A stamp on the water tank indicated that the units are rented from a local utility provider
- 125 amp maximum electric service (per stamp on panel box) with a breaker panel. 100 amp service estimated
- Ceiling mounted – smoke detector located in the hallway (in accordance with applicable building codes)
- Plumbing consists of standard copper and plastic/ABS piping
- All plumbing and light fixtures are considered to be of standard size/quality unless otherwise noted

General Interior Unit Finish

- Painted softwood baseboard mouldings – approximately 2½ inches in height
- Painted softwood interior door and window trim - approximately 2-1/4 inches in width
- Unless otherwise noted, interior doors (excluding closet doors) consist of standard hollow core flat panel doors (not colonial style) with plastic knobs
- Unless otherwise noted, closet doors consist of metal framed sliding panel doors (wood type panels). These doors have two floor to ceiling panel sections, are mounted on metal tracks and are referred to as "standard sliding doors" in this report
- Drywall (gypsum board) interior walls and partitions – painted with standard quality materials
- Standard quality painting materials are considered to include priming and two coats of flat latex paint with semi-gloss paint in the kitchen and bathrooms
- Drywall ceilings with a stippled finish in all finished areas except the bathroom which is painted with standard quality semi gloss latex

Unit Ceiling Clearances

- Main Floor – ceiling clearance of approximately 7.6 feet
- Second Floor – ceiling clearance of approximately 7.6 feet
- Basement – a ceiling clearance of approximately 7.0 feet

Schedule "4" (Continued)
 Carleton Condominium Corporation No. 59
 Specifications for Class 2 – Model 3B

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Main Level**Unit Entry Description**

- Standard quality vinyl composition tile flooring
- One ceiling mounted light with an open bottom basic globe type shade and a brass base/frame – single incandescent bulb
- One closet with a standard two section sliding door – full width hanging rod and shelf
- Metal entry door with one horizontal fixed thermopane window beside the door jam (upper section of the door only) Door hardware consists of a basic quality brass dead bolt and separate knob
- Standard metal exterior storm door

Powder Room

- Standard quality vinyl composition tile flooring
- One ceiling mounted exhaust fan
- Standard toilet fixture and sink with a vanity (vanity has 2 doors and three drawers)
- Standard chrome finished faucet with dual knobs
- Wall mounted light fixture – with two incandescent bulbs with rectangular shaped glass shade
- One standard chrome finish medicine cabinet with a mirror mounted on the wall above the vanity

Kitchen Description

- Walk-through kitchen
- Standard quality vinyl composition tile flooring
- One ceiling mounted light fixture with a globe type glass shade and metal base/frame – single incandescent bulb
- Melamine square top counter
- Melamine cabinets
- Single stainless steel sink
- Dual knob faucet with a chrome finish and a swing spout - no spray attachment
- Metal range hood with a two bulb incandescent light and a single speed electric exhaust fan – vented to the exterior
- Standard Pearson slider window with screen
- Double hinged wood doors leading to the dining room

Dining Room Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with an enclosed globe type glass shade and metal base/frame – single incandescent bulb
- Open to the living room

Living Room Description

- Standard quality low pile carpet flooring with commensurate under padding
- No light fixture – one switched receptacle (typically intended for a lamp)
- Originally a wood thermopane horizontal fixed window with a double pane sliding opener at the bottom – recently updated to a similar vinyl thermopane (fixed and sliding thermopane) window
- Open to the dining room
- Metal exterior door with a wide fixed thermopane window (upper section of the door only). Door hardware consists of a basic quality brass dead bolt and separate knob

Second Level**Stairwell**

- Standard quality low pile carpet on the steps and stair risers with commensurate under padding
- Wall mounted single bulb incandescent light fixture with a circular enclosed glass shade and metal frame
- Wall mounted wood handrail

Schedule "4" (Continued)
 Carleton Condominium Corporation No. 59
 Specifications for Class 2 – Model 3B

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Hallway

- Standard quality low pile carpet with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- Ceiling mounted smoke detector
- Standard linen closet with sliding door and five wooden shelves

Main Bathroom

- Four piece bathroom – standard quality fixtures consisting of a sink, toilet and a combined tub and shower head (no separate shower enclosure)
- Standard size/quality enamel covered sink – dual knob faucet with a chrome finish
- Standard quality/size tub – enamel covered with a dual knob chrome finished faucet
- Ceramic tile tub enclosure with a full length curtain rod
- Standard quality vinyl composition tile flooring
- Standard framed mirror/medicine cabinet attached to wall above the sink.
- One wall mounted light fixture with a rectangular shade and two incandescent bulbs
- Vanity with a square top melamine counter, a basic one course/row ceramic backsplash and two melamine cabinet doors
- Standard quality electric exhaust fan with a separate switch – vented to the exterior
- No window

Master Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with an enclosed globe type glass shade and metal base/frame – two incandescent bulbs
- One closet with a two section standard sliding door. Closet has two sections – one has one hanging rod and one shelf the other has two hanging rods and two shelves
- Pearson slider window (not thermopane)

Second Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with an enclosed globe type glass shade and metal base/frame – two incandescent bulbs
- One closet with a standard two section sliding door – full width hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Third Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with an enclosed globe type glass shade and metal base/frame – two incandescent bulbs
- One closet with a standard two section sliding door – hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Basement Level

Stairwell Description

- Finished stairwell – painted drywall walls and stippled drywall ceilings
- Painted wood stairs with open risers (no finish flooring)
- Wall mounted single bulb incandescent light fixture with a circular enclosed glass shade and metal frame
- Wall mounted wood handrail with metal brackets

Unfinished Basement

- Walls, ceiling and floors are unfinished

Schedule "4" (Continued)
Carleton Condominium Corporation No. 59
Specifications for Class 2 – Model 3B

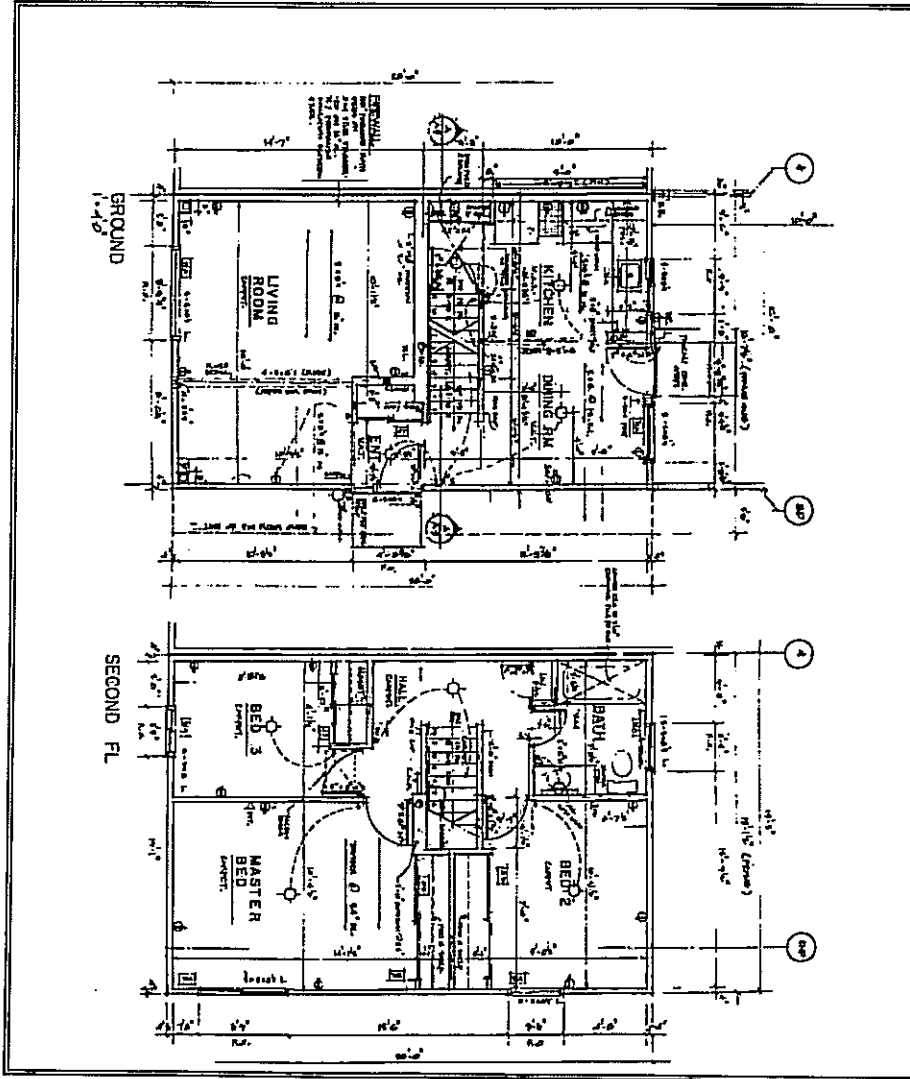
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- Exterior foundation walls are insulated and drywalled (untaped drywall) to the "frost line" – four feet from the ceiling
 - Three basic ceiling mounted bare bulb light fixtures
 - Washer and dryer hook-ups
 - Single plastic sink/laundry tub – low quality copper faucet with plastic knobs (typical for an unfinished basement)
 - Furnace and hot water tank are located in the basement
 - Small double pane window

Schedule "5"
Carleton Condominium Corporation No. 59
Floor Plan for Class 3 - Model 3C

FLOOR PLANS - MODEL TYPE 3-C



The above floor plans were scanned from the builders original architectural plans and are of limited quality. Room dimensions were scaled from the architectural plans and are approximate - plans did not include room dimensions.

Schedule "6"
 Carleton Condominium Corporation No. 59
 Specifications for Class 3 – Model 3C

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DESCRIPTION OF MODEL TYPE 3-C

The following description applies only to Model Type 3-C which is a two storey row unit with a full basement. This model contains an entry, a combined dining room and kitchen and a living room on the main floor. Second floor consists of three bedrooms and a four piece bathroom. The gross living area has been estimated from dimensions obtained from the original builders plans at approximately 996 square feet.

Overall Description

- Constructed in the mid 1970's (Circa 1975)
- Exterior cladding consists of a mix of wood siding and stucco
- Asphalt shingle roof cover
- Aluminum fascia and soffits
- Windows were reported to have originally been Pearson sliders with a wood thermopane window in the living room (see following living room description). Some windows have been recently replaced with vinyl thermopane units. All window openings are screened
- Rear yards have wood privacy fences with gates

Mechanical and Structural (Overall Building)

- Wood frame construction
- 2 x 8 inch joists on 16 inch centres
- Poured concrete foundation and basement floor
- Forced air gas heating. No central air conditioning system
- Each unit has an approximately 40 gallon gas hot water tank. A stamp on the water tank indicated that the units are rented from a local utility provider
- 125 amp maximum electric service (per stamp on panel box) with a breaker panel. 100 amp service estimated
- Ceiling mounted – smoke detector located in the hallway (in accordance with applicable building codes)
- Plumbing consists of standard copper and plastic/ABS piping
- All plumbing and light fixtures are considered to be of standard size/quality unless otherwise noted

General Interior Unit Finish

- Painted softwood baseboard mouldings – approximately 2½ inches in height
- Painted softwood interior door and window trim - approximately 2-1/4 inches in width
- Unless otherwise noted, interior doors (excluding closet doors) consist of standard hollow core flat panel doors (not colonial style) with plastic knobs
- Unless otherwise noted, closet doors consist of metal framed sliding panel doors (wood type panels). These doors have two floor to ceiling panel sections, are mounted on metal tracks and are referred to as "standard sliding doors" in this report
- Drywall (gypsum board) interior walls and partitions – painted with standard quality materials
- Standard quality painting materials are considered to include priming and two coats of flat latex paint with semi-gloss paint in the kitchen and bathrooms
- Drywall ceilings with a stippled finish in all finished areas except the bathroom which is painted with standard quality semi gloss latex

Unit Ceiling Clearances

- Main Floor – ceiling clearance of approximately 7.6 feet
- Second Floor – ceiling clearance of approximately 7.6 feet
- Basement – a ceiling clearance of approximately 7.0 feet

Schedule "6" (Continued)
 Carleton Condominium Corporation No. 59
 Specifications for Class 3 – Model 3C

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Main Level

Unit Entry Description

- Standard quality vinyl composition tile flooring
- One ceiling mounted light with an open bottom basic globe type shade and a brass base/frame – single incandescent bulb
- One closet with a standard two section sliding door – full width hanging rod and shelf
- Metal entry door with one horizontal fixed thermopane window beside the door jam (upper section of the door only)
- Door hardware consists of a basic quality brass dead bolt and separate knob
- Standard metal exterior storm door

Kitchen Description

- Standard quality vinyl composition tile flooring
- One ceiling mounted light fixture with a globe type glass shade and metal base/frame – single incandescent bulb
- Melamine square top counter
- Melamine cabinets
- Single stainless steel sink
- Dual knob faucet with a chrome finish and a swing spout - no spray attachment
- Metal range hood with a two bulb incandescent light and a single speed electric exhaust fan – vented to the exterior
- Pearson slider window
- One closet with a standard two section sliding door – full width hanging rod and shelf at the top of the stairs leading to the basement

Dining Room Description

- Standard quality vinyl composition tile flooring
- One ceiling mounted light fixture with an enclosed globe type glass shade and metal base/frame – single incandescent bulb
- Originally a wood thermopane horizontal fixed window with a vinyl double pane sliding section at the bottom – recently updated to a similar vinyl thermopane (fixed and sliding thermopane) window
- Metal exterior door with a fixed thermopane window (upper section of the door only). Door hardware consists of a basic quality brass dead bolt and separate knob.

Living Room Description

- Standard quality low pile carpet flooring with commensurate under padding
- No light fixture – one switched receptacle (typically intended for a lamp)
- Originally a wood thermopane horizontal fixed window with a vinyl double pane sliding opener at the bottom – recently updated to a similar vinyl thermopane (fixed and sliding thermopane) window

Second Level

Stairwell

- Standard quality low pile carpet on the steps and stair risers with commensurate under padding
- Wall mounted single bulb incandescent light fixture with a circular enclosed glass shade and metal frame
- Wall mounted wood handrail
- Painted drywall ledge at the top of the stairwell

Hallway

- Standard quality low pile carpet with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb

Schedule "6" (Continued)
 Carleton Condominium Corporation No. 59
 Specifications for Class 3 – Model 3C

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- Ceiling mounted smoke detector
- Linen closet with four shelves

Main Bathroom

- Four piece bathroom – standard quality fixtures consisting of a sink, toilet and a combined tub and shower head (no separate shower enclosure)
- Standard size/quality enamel covered sink – dual knob faucet with a chrome finish
- Standard quality/size tub – enamel covered with a dual knob chrome finished faucet
- Ceramic tile tub enclosure with a full length curtain rod
- Standard quality vinyl composition tile flooring
- Standard framed mirror/medicine cabinet attached to wall above the sink.
- One wall mounted light fixture with a rectangular shade and – two incandescent bulbs
- Vanity with a square top melamine counter, a basic one course/row ceramic backsplash and two melamine cabinet doors
- Standard quality electric exhaust fan with a separate switch – vented to the exterior
- No window

Master Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with an enclosed globe type glass shade and metal base/frame – two incandescent bulbs
- One closet with a two section standard sliding door
- Standard Pearson slider window (not thermopane)

Second Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with an enclosed globe type glass shade and metal base/frame – two incandescent bulbs
- One closet with a standard two section sliding door – full width hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Third Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with an enclosed globe type glass shade and metal base/frame – two incandescent bulbs
- One closet with a standard two section sliding door – hanging rod and shelf and a five shelf linen section
- Standard Pearson slider window (not thermopane)

Basement Level

Stairwell Description

- Standard hollow core wood door at the top of the stairwell (at the entry)
- Finished stairwell – painted drywall walls and stippled drywall ceilings
- Painted wood stairs with open risers (no finish flooring)
- Wall mounted single bulb incandescent light fixture with a circular enclosed glass shade and metal frame
- Wall mounted wood handrail with metal brackets

Unfinished Basement

- Walls, ceiling and floors are unfinished
- Exterior foundation walls are insulated and drywalled (untaped drywall) to the "frost line" – four feet from the ceiling
- Three basic ceiling mounted bare bulb light fixtures
- Washer and dryer hook-ups
- Single plastic sink/laundry tub – low quality copper faucet with plastic knobs (typical for an unfinished

Schedule "6" (Continued)
Carleton Condominium Corporation No. 59
Specifications for Class 3 – Model 3C

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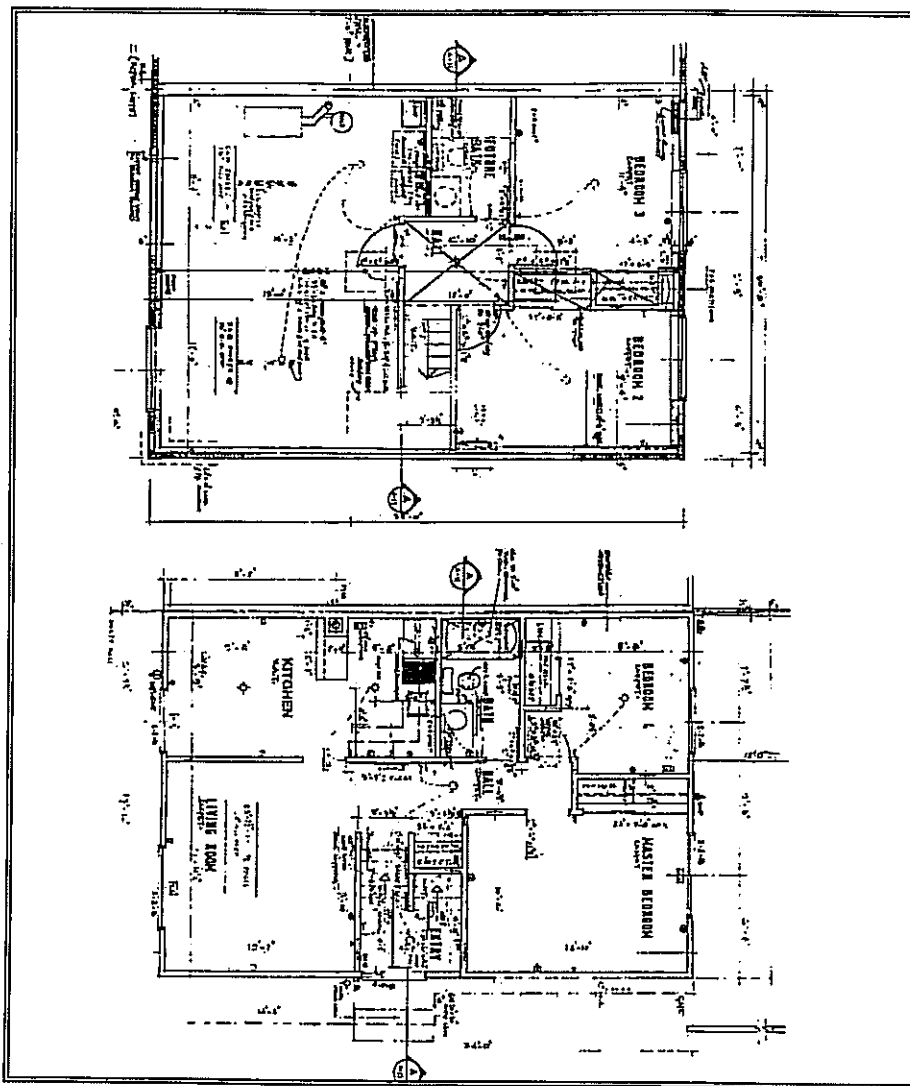
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- basement)
- Furnace and hot water tank are located in the basement
 - Small double pane window (not thermopane)

Schedule "7"
 Carleton Condominium Corporation No. 59
 Floor Plan for Class 4 – Model 4A

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FLOOR PLANS – MODEL TYPE 4-A



The above floor plans were scanned from the builders original architectural plans and are of limited quality. Room dimensions were scaled from the architectural plans and are approximate – plans did not include room dimensions.

Schedule "8"
 Carleton Condominium Corporation No. 59
 Specifications for Class 4 – Model 4A

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DESCRIPTION OF MODEL TYPE 4-A

The following description applies only to Model Type 4-A which is a one storey row unit with a full partially finished basement. This model contains an entry, a living room, a combined dining room and kitchen, two bedrooms and a full bathroom on the main floor. The basement contains two bedrooms and a rough-in for a future bathroom. The gross living area has been estimated from dimensions obtained from the original builders plans at approximately 795 square feet (+283 square feet of finished basement space).

Overall Description

- Constructed in the mid 1970's (Circa 1975)
- Exterior cladding consists of a mix of wood siding and stucco
- Asphalt shingle roof cover
- Aluminum fascia and soffits
- Windows were reported to have originally been Pearson sliders with a wood thermopane window in the living room (see following living room description). Some windows have been recently replaced with vinyl thermopane units. All window openings are screened
- Rear yards have wood privacy fences with gates

Mechanical and Structural (Overall Building)

- Wood frame construction
- 2 x 8 inch joists on 16 inch centres
- Poured concrete foundation and basement floor
- Forced air gas heating. No central air conditioning system
- Each unit has an approximately 40 gallon gas hot water tank. A stamp on the water tank indicated that the units are rented from a local utility provider
- 125 amp maximum electric service (per stamp on panel box) with a breaker panel. 100 amp service estimated
- Ceiling mounted – smoke detector located in the hallway (in accordance with applicable building codes)
- Plumbing consists of standard copper and plastic/ABS piping
- All plumbing and light fixtures are considered to be of standard size/quality unless otherwise noted

General Interior Unit Finish

- Painted softwood baseboard mouldings – approximately 2½ inches in height
- Painted softwood interior door and window trim - approximately 2-1/4 inches in width
- Unless otherwise noted, interior doors (excluding closet doors) consist of standard hollow core flat panel doors (not colonial style) with plastic knobs
- Unless otherwise noted, closet doors consist of metal framed sliding panel doors (wood type panels). These doors have two floor to ceiling panel sections, are mounted on metal tracks and are referred to as "standard sliding doors" in this report
- Drywall (gypsum board) interior walls and partitions – painted with standard quality materials
- Standard quality painting materials are considered to include priming and two coats of flat latex paint with semi-gloss paint in the kitchen and bathrooms
- Drywall ceilings with a stippled finish in all finished areas except the bathroom which is painted with standard quality semi gloss latex

Unit Ceiling Clearances

- Main Floor – ceiling clearance of approximately 7.6 feet
- Basement – a ceiling clearance of approximately 7.0 feet

Schedule "8" (Continued)
 Carleton Condominium Corporation No. 59
 Specifications for Class 4 – Model 4A

Affiliated Appraisers

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Main Level

Unit Entry Description

- Standard quality vinyl composition tile flooring
- One ceiling mounted light with an open bottom basic globe type shade and a brass base/frame – single incandescent bulb
- Metal entry door with one horizontal fixed thermopane window beside the door jam (upper section of the door only) Door hardware consists of a basic quality brass dead bolt and separate knob (see previous front entry photo)
- Standard metal exterior storm door

Kitchen Description

- Standard quality vinyl composition tile flooring
- One ceiling mounted light fixture with a globe type glass shade and metal base/frame – single incandescent bulb
- Melamine square top counter
- Melamine cabinets
- Single stainless steel sink
- Dual knob faucet with a chrome finish and a swing spout - no spray attachment
- Metal range hood with a two bulb incandescent light and a single speed electric exhaust fan – vented to the exterior
- No window

Dining Room Description

- Standard quality vinyl composition tile flooring
- One ceiling mounted light fixture with an enclosed globe type glass shade and metal base/frame – single incandescent bulb
- Originally Pearson slider window – updated to an aluminum sliding thermopane window
- Open to the kitchen

Living Room Description

- Standard quality low pile carpet flooring with commensurate under padding
- No light fixture – one switched receptacle (typically intended for a lamp)
- Originally a wood thermopane horizontal fixed window with a double pane sliding section at the bottom – recently updated to a similar vinyl thermopane (fixed and sliding thermopane) window

Hallway

- Standard quality low pile carpet with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- Ceiling mounted smoke detector
- One closet with a standard two section sliding door – full width hanging rod and shelf

Main Bathroom

- Four piece bathroom – standard quality fixtures consisting of a sink, toilet and a combined tub and shower head (no separate shower enclosure)
- Standard size/quality enamel covered sink – dual knob faucet with a chrome finish
- Standard quality/size tub – enamel covered with a dual knob chrome finished faucet
- Ceramic tile tub enclosure with a full length curtain rod
- Standard quality vinyl composition tile flooring
- A metal framed wall mounted mirror/medicine cabinet unit
- One wall mounted light fixture with a horizontal glass shade and a metal base/frame – two incandescent bulbs
- Vanity with a square top melamine counter, a basic one course/row ceramic backsplash and two melamine

Schedule "8" (Continued)
 Carleton Condominium Corporation No. 59
 Specifications for Class 4 – Model 4A

Affiliated Appraisers

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- cabinet doors
- Standard quality electric exhaust fan with a separate switch – vented to the exterior
- No window

Master Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- One closet with a two section standard sliding door – full width hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Second Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- One closet with a standard two section sliding door – full width hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Basement Level

Stairwell Description

- Finished stairwell – painted drywall walls and stippled drywall ceilings
- Stairs finished with standard quality vinyl composition tile flooring
- Ceiling mounted single bulb incandescent light fixture with a circular enclosed glass shade and metal frame
- Wall mounted wood handrail

Third Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- One closet with a standard two section sliding door – hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Fourth Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- One closet with a standard two section sliding door – hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Unfinished Basement

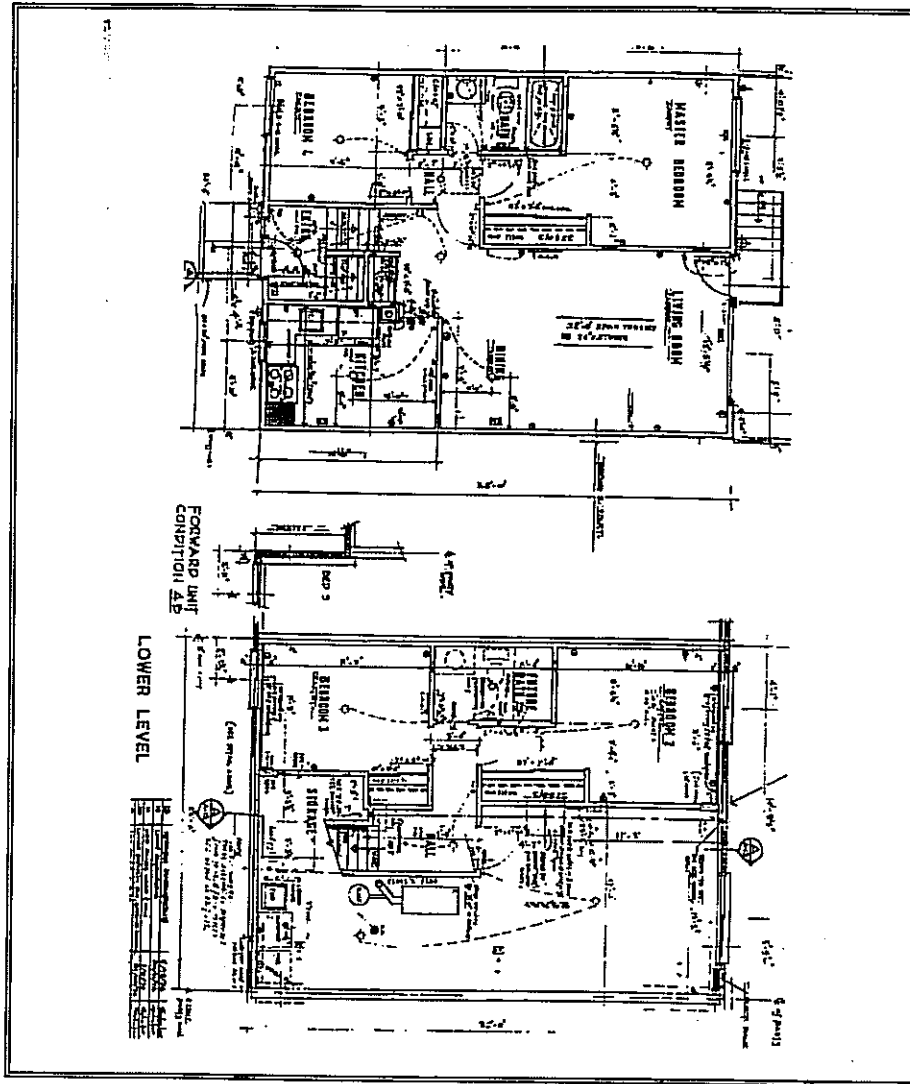
- Walls, ceiling and floors are unfinished
- Exterior foundation walls are insulated and drywalled (untaped drywall) to the "frost line" – four feet from the ceiling
- Two basic ceiling mounted bare bulb light fixtures
- Washer and dryer hook-ups
- Single plastic sink/laundry tub – low quality copper faucet with plastic knobs (typical for an unfinished basement)
- Roughed-in four piece bathroom
- Furnace and hot water tank are located in the basement
- Standard Pearson slider window (not thermopane)

Schedule "9"
 Carleton Condominium Corporation No. 59
 Floor Plan for Class 5 – Model 4B

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FLOOR PLANS – MODEL TYPE 4-B



The above floor plans were scanned from the builders original architectural plans and are of limited quality. Room dimensions were scaled from the architectural plans and are approximate – plans did not include room dimensions.

Schedule "10"
Carleton Condominium Corporation No. 59
Specifications for Class 5 – Model 4B

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DESCRIPTION OF MODEL TYPE 4-B

The following description applies only to Model Type 4-B which is a one storey row unit with a full partially finished basement. This model contains an entry, a kitchen, a combined dining room and living room, two bedrooms and a full bathroom on the main floor. The basement contains two bedrooms and a rough-in for a future bathroom. The gross living area has been estimated from dimensions obtained from the original builders plans at approximately 777 square feet (+368 square feet of finished basement space).

Overall Description

- Constructed in the mid 1970's (Circa 1975)
- Exterior cladding consists of a mix of wood siding and stucco
- Asphalt shingle roof cover
- Aluminum fascia and soffits
- Windows were reported to have originally been Pearson sliders with a wood thermopane window in the living room (see following living room description). Some windows have been recently replaced with vinyl thermopane units. All window openings are screened
- Rear yards have wood privacy fences with gates

Mechanical and Structural (Overall Building)

- Wood frame construction
- 2 x 8 inch joists on 16 inch centres
- Poured concrete foundation and basement floor
- Forced air gas heating. No central air conditioning system
- Each unit has an approximately 40 gallon gas hot water tank. A stamp on the water tank indicated that the units are rented from a local utility provider
- 125 amp maximum electric service (per stamp on panel box) with a breaker panel. 100 amp service estimated
- Ceiling mounted – smoke detector located in the hallway (in accordance with applicable building codes)
- Plumbing consists of standard copper and plastic/ABS piping
- All plumbing and light fixtures are considered to be of standard size/quality unless otherwise noted

General Interior Unit Finish

- Painted softwood baseboard mouldings – approximately 2½ inches in height
- Painted softwood interior door and window trim - approximately 2-1/4 inches in width
- Unless otherwise noted, interior doors (excluding closet doors) consist of standard hollow core flat panel doors (not colonial style) with plastic knobs
- Unless otherwise noted, closet doors consist of metal framed sliding panel doors (wood type panels). These doors have two floor to ceiling panel sections, are mounted on metal tracks and are referred to as "standard sliding doors" in this report
- Drywall (gypsum board) interior walls and partitions – painted with standard quality materials
- Standard quality painting materials are considered to include priming and two coats of flat latex paint with semi-gloss paint in the kitchen and bathrooms
- Drywall ceilings with a stippled finish in all finished areas except the bathroom which is painted with standard quality semi gloss latex

Unit Ceiling Clearances

- Main Floor – ceiling clearance of approximately 7.6 feet
- Basement – a ceiling clearance of approximately 7.0 feet

Schedule "10" (Continued)
 Carleton Condominium Corporation No. 59
 Specifications for Class 5 – Model 4B

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Main Level

Unit Entry Description

- Standard quality vinyl composition tile flooring
- One ceiling mounted light with an open bottom basic globe type shade and a brass base/frame – single incandescent bulb
- Metal entry door with one horizontal fixed thermopane window beside the door jam (upper section of the door only) Door hardware consists of a basic quality brass dead bolt and separate knob
- Standard metal exterior storm door

Kitchen Description

- Standard quality vinyl composition tile flooring
- One ceiling mounted light fixture with a globe type glass shade and metal base/frame – single incandescent bulb
- Melamine square top counter
- Melamine cabinets
- Single stainless steel sink
- Dual knob faucet with a chrome finish and a swing spout – no spray attachment
- Metal range hood with a two bulb incandescent light and a single speed electric exhaust fan – vented to the exterior
- Standard Pearson slider

Dining Room Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with an enclosed globe type glass shade and metal base/frame – single incandescent bulb
- No window
- Open to the living room

Living Room Description

- Standard quality low pile carpet flooring with commensurate under padding
- No light fixture – one switched receptacle (typically intended for a lamp)
- Originally a wood thermopane horizontal fixed window with a double pane sliding section at the bottom – recently updated to a similar vinyl thermopane (fixed and sliding thermopane) window
- Metal exterior door with a fixed thermopane window (upper section of the door only). Door hardware consists of a basic quality brass dead bolt and separate knob.

Hallway

- Standard quality low pile carpet with commensurate under padding
- One ceiling mounted light fixture with a basic tear shaped shade and a metal base/frame – single incandescent bulb
- Ceiling mounted smoke detector

Main Bathroom

- Four piece bathroom – standard quality fixtures consisting of a sink, toilet and a combined tub and shower head (no separate shower enclosure)
- Standard size/quality enamel covered sink – dual knob faucet with a chrome finish
- Standard quality/size tub – enamel covered with a dual knob chrome finished faucet
- Ceramic tile tub enclosure with a full length curtain rod
- Standard quality vinyl composition tile flooring
- A metal framed wall mounted mirror/medicine cabinet unit
- One wall mounted light fixture with a horizontal glass shade and a metal base/frame – two incandescent bulbs
- Vanity with a square top melamine counter, a basic one course/row ceramic backsplash and two melamine

Schedule "10" (Continued)
 Carleton Condominium Corporation No. 59
 Specifications for Class 5 – Model 4B

Affiliated Appraisers

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- cabinet doors
- Standard quality electric exhaust fan with a separate switch – vented to the exterior
- No window

Master Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- One closet with a two section standard sliding door – full width hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Second Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- One closet with a standard two section sliding door – full width hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Basement Level

Stairwell Description

- Finished stairwell – painted drywall walls and stippled drywall ceilings
- Stairs finished with standard quality vinyl composition tile flooring
- Ceiling mounted single bulb incandescent light fixture with a circular enclosed glass shade and metal frame
- Wall mounted wood handrail

Third Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- One closet with a standard two section sliding door – hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Fourth Bedroom Description

- Standard quality low pile carpet flooring with commensurate under padding
- One ceiling mounted light fixture with a basic globe type shade and a metal base/frame – single incandescent bulb
- One closet with a standard two section sliding door – hanging rod and shelf
- Standard Pearson slider window (not thermopane)

Unfinished Basement

- Walls, ceiling and floors are unfinished
- Exterior foundation walls are insulated and drywalled (untaped drywall) to the "frost line" – four feet from the ceiling
- Two basic ceiling mounted bare bulb light fixtures
- Washer and dryer hook-ups
- Single plastic sink/laundry tub – low quality copper faucet with plastic knobs (typical for an unfinished basement)
- Roughed-in four piece bathroom
- Furnace and hot water tank are located in the basement
- Standard Pearson slider window (not thermopane)

Properties	15059-0001 to 15059-0014
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<i>PIN</i>	15059 - 0115 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
<i>Description</i>	UNIT 115, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 59, BLK A, A-1 PLAN 645456; BLK F, F-1 PLAN 645455, PTS 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24 4R1196; S/T 185259 AS IN SCHEDULE 'A' OF DECLARATION 118153 NEPEAN		
<i>Address</i>	00170 WOODFIELD DRIVE NEPEAN		
<i>PIN</i>	15059 - 0116 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
<i>Description</i>	UNIT 116, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 59, BLK A, A-1 PLAN 645456; BLK F, F-1 PLAN 645455, PTS 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24 4R1196; S/T 185259 AS IN SCHEDULE 'A' OF DECLARATION 118153 NEPEAN		
<i>Address</i>	00172 WOODFIELD DRIVE NEPEAN		
<i>PIN</i>	15059 - 0117 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
<i>Description</i>	UNIT 117, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 59, BLK A, A-1 PLAN 645456; BLK F, F-1 PLAN 645455, PTS 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24 4R1196; S/T 185259 AS IN SCHEDULE 'A' OF DECLARATION 118153 NEPEAN		
<i>Address</i>	00174 WOODFIELD DRIVE NEPEAN		
<i>PIN</i>	15059 - 0118 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
<i>Description</i>	UNIT 118, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 59, BLK A, A-1 PLAN 645456; BLK F, F-1 PLAN 645455, PTS 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24 4R1196; S/T 185259 AS IN SCHEDULE 'A' OF DECLARATION 118153 NEPEAN		
<i>Address</i>	00176 WOODFIELD DRIVE OTTAWA		
<i>PIN</i>	15059 - 0119 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
<i>Description</i>	UNIT 119, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 59, BLK A, A-1 PLAN 645456; BLK F, F-1 PLAN 645455, PTS 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24 4R1196; S/T 185259 AS IN SCHEDULE 'A' OF DECLARATION 118153 NEPEAN		
<i>Address</i>	00178 WOODFIELD DRIVE NEPEAN		
<i>PIN</i>	15059 - 0120 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
<i>Description</i>	UNIT 120, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 59, BLK A, A-1 PLAN 645456; BLK F, F-1 PLAN 645455, PTS 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24 4R1196; S/T 185259 AS IN SCHEDULE 'A' OF DECLARATION 118153 NEPEAN		
<i>Address</i>	00180 WOODFIELD DRIVE NEPEAN		
<i>PIN</i>	15059 - 0121 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
<i>Description</i>	UNIT 121, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 59, BLK A, A-1 PLAN 645456; BLK F, F-1 PLAN 645455, PTS 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24 4R1196; S/T 185259 AS IN SCHEDULE 'A' OF DECLARATION 118153 NEPEAN		
<i>Address</i>	00182 WOODFIELD DRIVE NEPEAN		

Applicant(s)

<i>Name</i>	CARLETON CONDOMINIUM CORPORATION NO. 59
<i>Address for Service</i>	c/o Nelligan O'Brien Payne 1900-66 Slater Street Ottawa, ON K1P 5H1

Carleton Condominium Corporation No. 59 hereby certifies that by-law number 13 attached hereto is a true copy of the by-law. The by-law was made in accordance with the Condominium Act. The owners of a majority of the units of the corporation have voted in favour of confirming the by-law.

I, Robert Roy, have the authority to bind the corporation.

Statements

Schedule: See Schedules

Signed By

Stephanie Armande Leveille 1900-66 Slater St. acting for Applicant(s) Signed 2004 01 28
Ottawa K1P 5H1
Tel 6132388080
Fax 6132382098

Submitted By

NELLIGAN O'BRIEN PAYNE LLP 1900-66 Slater St. 2004 01 28
Ottawa K1P 5H1
Tel 6132388080
Fax 6132382098

Fees/Taxes/Payment

Statutory Registration Fee \$60.00
Total Paid \$60.00

File Number

Applicant Client File Number : 3126-35